

DEVELOPMENT REGULATIONS

Section 10.0

Draft
January 2012



INTRODUCTION

10.1

The provisions contained herein, along with those contained within the Development Agreement, regulate design and development within Serrano Summit.

DEFINITION OF TERMS

10.2

The meaning and construction of words, phrases, titles, and terms shall be the same as provided in Section 9.04.030, "Definitions," in the City of Lake Forest Municipal Code, unless otherwise specifically provided herein. The definitions of residential product types shall be those defined in Section 4, "Land Use," of the Serrano Summit Area Plan, within the discussion of each respective land use district.

ADMINISTRATION

10.3

The Serrano Summit Area Plan, upon adoption, in addition to the Development Agreement, will serve as an implementation tool for the General Plan, as amended, to guide the growth of the community. The Serrano Summit Area Plan Development Regulations address the general provisions and development standards for the community.

GENERAL PROVISIONS

10.4

The following provisions shall apply to all proposed land development within Serrano Summit.

1. Gross Acres - Except as otherwise indicated, gross acres for all development areas are measured to the centerline of streets.
2. Grading - Development within the Serrano Summit area shall utilize grading techniques as approved by the City of Lake Forest and shall be in accordance with the City's Grading Ordinance and Grading Manual. Grading concepts shall respond to the design guidelines included in the Serrano Summit Area Plan that promote a livable community with streets and public realm areas designed for walking and resident interaction.
3. Building Modification - Additions and alterations permitted by the Serrano Summit Area Plan shall match the architectural style of the primary unit and shall be constructed of the same materials, details, and colors as the primary unit.
4. Utilities - All new and existing public utility distribution lines of 35.5kV or less shall be subsurface within the Serrano Summit boundaries.
5. Technology - All homes and businesses shall accommodate modern telecommunications technology for computer internet access, phone, fax, and television. If available locally, broadband fiber optics cable will be installed to all the properties. See Section 5.9 for more information.
6. Transfer of Density - The Serrano Summit Area Plan allocates a gross density to each Planning Area as indicated in Table 4-1, "Development Summary by Planning Area" in Section 4, of the Serrano Summit Area Plan. Variations in the gross density within any Planning Area may occur at the time of final design of the Planning Area depending upon the residential product identified for development as part of the 'B' Map process. Changes in residential density for the Planning Area are permitted among and between all of the residential Planning Areas (i.e., Planning Areas 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 12) within Serrano Summit, provided that the density of each residential planning area does not exceed 25 dwelling units per acre and the total number of residential dwelling units permitted within Serrano Summit does not exceed 608 dwelling units, with an additional 225 dwelling units in Planning Area 13 if the Civic Center is not constructed.
7. Best Management Practices - Development of storm water runoff improvements within Serrano Summit shall adhere to currently adopted Best Management Practices (BMP's). The Site Design BMP's may include but not be limited to, Water Quality Management Plan basins. Common area landscaping and parks may be designed to function as a series of shallow storm water treatment basins and infiltration zones for storm water runoff from surrounding areas wherever moderately well draining soils exist.
8. Maximum Number of Dwelling Units - The maximum number of residential dwelling units permitted within Serrano Summit for Planning Areas 1 through 12 is 608 dwelling units, with an additional 225 dwelling units in Planning Area 13 if the Civic Center is not constructed.
9. Approval of this Area Plan - This Area Plan has been approved by Resolution No. ___ and adopted by the City Council. Approval of the Serrano Summit Area Plan includes the approval of a "Master Land Use Plan," contained within this Area Plan.
10. Solid Waste/Recycling - Development within Serrano Summit shall comply with City of Lake Forest requirements for the provision and placement of solid waste and recycling receptacles. All homes subject to individual trash pick-up (rather than those that utilize centralized trash enclosures) shall be provided with a minimum of three separate portable wheeled containers for waste, recycling and green waste. The containers may be provided by the waste hauler. These containers shall either be stored in an enclosed garage or in a side or rear yard so as not to be visible from any public street, except during days of trash pickup or on the evening before standard trash pickup takes place.

SUSTAINABILITY DEVELOPMENT REGULATIONS

10.5

The enforcement of the following regulations shall be the responsibility of the project master developer.

Structures & Site Development

1. All homes shall accommodate technology for computer internet access, phone, fax, and television.
2. All homes shall be equipped to accommodate recharging of "plug in hybrid" vehicles.
3. Construction activities within Serrano Summit shall implement a construction waste management plan outlining on-site measures for minimizing and recycling construction waste.
4. The use of exterior building materials that do not require painting or coating is encouraged.
5. The use of recycled materials is encouraged including the use of wood certified by the Forest Stewardship Council.
6. Visible roof materials shall have a 30-year minimum life expectancy.
7. Buildings shall utilize proper insulation in walls and ceilings as well as a radiant barrier at the roof.
8. Heating, air conditioning, and ventilation systems shall incorporate a programmed thermostat.
9. Low energy windows are required for all windows.
10. All bathrooms shall provide motion detectors on light switches as required by the Building Code and high efficiency plumbing fixtures shall be used.
11. The use of interior low energy lighting fixtures and bulbs throughout all public buildings is required, whenever feasible.
12. Exterior electrical outlets on the front and rear of all buildings to allow for electric landscape maintenance equipment should be provided.

Landscape Sustainability

1. The plant palette of California-friendly and water wise plants included in the Area Plan shall be utilized. Plants shall be grouped in combinations with similar water and sun exposure needs. Grouping plants with similar needs will reduce the chance of over watering or

under watering and will allow growth without risk of disease or failure due to improper irrigation.

2. A layer of 2-3 inches of bark mulch shall be installed in all planters. The mulch will retard weed growth and thus reduce the labor required for weed abatement and the need for chemical applications to control weed growth. In addition, the bark mulch will reduce the loss of moisture from the soil by evaporation and keep the root zone of the plants cooler.
3. Irrigation shall utilize low flow bubblers and spray heads, where applicable, to reduce the probability of water run off and overspray.
4. The use of an irrigation controller equipped with soil moisture sensor, rain shut off, and wind shut off capabilities is encouraged. It is recommended that the controller be able to adjust station run times to daily evapotranspiration updates. Utilizing these tools, management of the irrigation system will be automated and will reduce the labor required to provide system adjustments based on seasonal change. These mechanisms will also reduce the volume of water applied to planting areas otherwise wasted using typical time clock controllers.

RESIDENTIAL DISTRICT STANDARDS

10.6

Adoption of the development regulations described in Section 10, "Development Regulations," in this Area Plan shall be through a "master" Use Permit for all Serrano Summit planning areas.

Single Family Detached Residential (SFD)

General

This category includes the development of single-family detached dwelling units. The purpose of the residential standards for single-family detached housing is to establish the minimum criteria for the development of these product types on individual lots or as condominium style single family detached developments within the Planning Areas specified within Serrano Summit.

Permitted Uses and Facilities

1. Single family detached dwellings and garages.
2. Public or private parks, non-lighted athletic fields, community centers, senior centers, recreational buildings, greenbelts, and open space.
3. Accessory uses to include the following:
 - a. *Second Dwelling Units, in accordance the City of Lake Forest Municipal Code.*
 - b. *Home occupations per Section 9.146.060 of the Lake Forest Municipal Code.*
 - c. *Guest houses.*
 - d. *Storage sheds.*
 - e. *Gazebos, cabanas and other similar structures.*
 - f. *Home schools.*
 - g. *Swimming pools, spas, and other similar outdoor recreational amenities.*
 - h. *Patios and patio covers.*
 - i. *Storage, garden structures, cabanas, and greenhouses.*
 - j. *Monument signage.*
 - k. *Model home and subdivision sales trailers; temporary construction parking, offices, and facilities; real estate signs, signage indicating future development and directional signage in accordance with the City of Lake Forest Code.*
 - l. *Second and third story additions to existing single story dwelling units.*

- m. *Small family child care/day care facilities (up to 6 children), in accordance with the City of Lake Forest Municipal Code.*
- n. *Drop boxes for overnight delivery service providers.*
- o. *Domestic household pets in accordance with the City of Lake Forest Municipal Code.*
- p. *Parking lots associated with permitted uses.*
- q. *Signs associated with permitted uses and as approved per the City of Lake Forest sign permit procedures.*

Conditionally Permitted Uses and Facilities

1. Places of worship including, but not limited to, churches and synagogues.
2. Congregate care facilities.
3. Minor communications facilities.
4. Parking lots associated with conditionally permitted uses.

Temporary Uses

1. Temporary uses shall be permitted pursuant to Section 9.144.070, "Temporary Uses and Structures," of the City of Lake Forest Municipal Code.

Recreational Vehicle Storage & Parking

1. Recreational Vehicle (RV) storage is prohibited on public and private streets, private lanes, and in sideyards. RV parking is restricted to public and private streets and is limited to 24 hours.

Single Family Detached Residential Development Standards

The regulations governing development of single family detached residential dwelling units within Serrano Summit are provided in Table 10-1, "Single Family Detached Residential Development Standards."

**TABLE 10-1
SINGLE FAMILY DETACHED RESIDENTIAL DEVELOPMENT STANDARDS⁹**

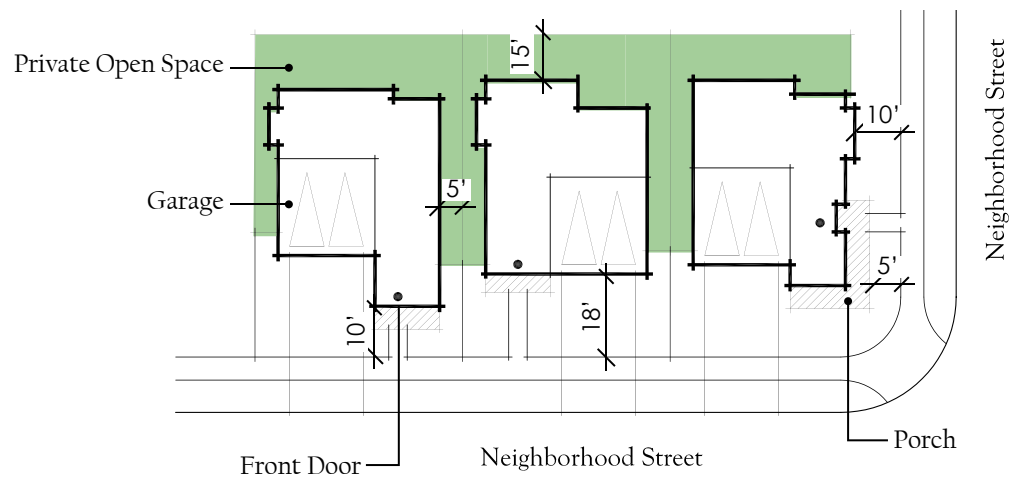
(TABLE APPLIES TO FEE SIMPLE HOUSING ONLY)

	FRONT LOADED 50'+ WIDE	FRONT LOADED 40' WIDE	SFD REAR LOADED
LOT CRITERIA			
MIN. LOT WIDTH	50'	40'	30'
MIN. LOT WIDTH AT KNUCKLE OR CUL-DE-SAC	35'	35'	N/A
MIN. LOT WIDTH AT CORNER LOT	55'	45'	35'
MIN. LOT DEPTH	80'	70'	50'
MIN. LOT AREA	4,000 sf	2,800 sf	1,500 sf
FRONT SETBACKS (FROM PROPERTY LINE)¹			
LIVING AREA	10'	10'	10' ²
PORCH (SINGLE STORY PLATE LINE)	5'	5'	5' ²
STREET FACING GARAGE	18'	18'	N/A
TURN-IN GARAGE	10'	N/A	N/A
FRONT YARD SETBACK FROM 'B' STREET (APPLIES TO 'B' STREET ONLY)	15'	15'	15'
SIDE SETBACKS (FROM PROPERTY LINE)¹			
INTERIOR PROPERTY LINE	5'	5'	5'
REAR SETBACKS (FROM PROPERTY LINE)¹			
MAIN STRUCTURE	15'	15'	3'
GARAGE	5'	5'	3' from alley ROW
PATIO COVER OR SECOND STORY DECK	5'	5'	3'
PARK LANDSCAPE BUFFER⁸			
MEASURED FROM PROPERTY LINE	3'	3'	3'
LOT COVERAGE			
MAX. COVERAGE	60%	60%	60%
MAXIMUM BUILDING HEIGHT³			
MAIN STRUCTURE	35'	35'	35'
GARAGE (SINGLE STORY)	15'	15'	15'
GARAGE WITH SECOND UNIT ABOVE	35'	35'	35'
WALLS, FENCES, AND HEDGES			
MAX. HEIGHT IN FRONT SETBACK AREA ⁴	42"	42"	42"
MAX. HEIGHT AT INTERIOR OR REAR PL ⁵	6'	6'	6'
REQUIRED PARKING (PER LAKE FOREST MUNICIPAL CODE CHAPTER 9.168, SPECIFICALLY AS FOLLOWS:)			
TOTAL PARKING REQUIRED IN ENCLOSED GARAGE ^{6,10}	2 spaces/unit	2 spaces/unit	2 spaces/unit
GUEST PARKING REQUIRED ¹⁰	0.2 space/unit ⁷	0.2 space/unit ⁷	0.2 space/unit ⁷
OPEN SPACE			
PRIVATE OPEN SPACE	100 sf on the ground floor with a min. dimension of 6'	100 sf on the ground floor with a min. dimension of 6'	100 sf on the ground floor with a min. dimension of 6'

TABLE 10-1 FOOTNOTES

1. Architectural projections may project a maximum of 3 feet into required front, rear or side setback areas; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements. Not applicable to paseo or court fronting units. Refer to minimum building separation requirements.
2. Not applicable to paseo or court fronting units. Refer to minimum building separation requirements.
3. Architectural projections such as chimneys, cupolas, and similar features may exceed the maximum height limit by 10 feet.
4. Solid masonry walls or fencing materials may be permitted 2' from the back of the sidewalk as long as they have a max height of 42". Combination retaining walls and wall/fence combinations can exceed 42" in height. Fences, walls, hedges or similar view obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed 42" in height in any required front yard. Walls with plexiglass are restricted to areas with view opportunities.
5. Walls may exceed 6 feet in height for noise attenuation purposes subject to an approved Acoustical Study, and may have a max. height of 9 feet if a combination wall/fence/hedge, stepped wall or fence, and/or retaining wall is necessary.
6. All parking spaces to be enclosed with a minimum 20' x 20' clear inside dimension for two spaces and 10' x 20' for single spaces.
7. Required guest parking can be provided on-street or within designated open parking areas.
8. Where private property (excepting streets and alleyways) abuts a public neighborhood park in Planning Areas 15 and 16, a three foot wide landscape buffer shall be provided consisting of a low hedge, shrubs, or a low wall or fence, not to exceed three feet in height, unless a taller wall for privacy purposes is permitted by the City of Lake Forest Planning Department.
9. Development Standards approved through Use Permit 9-11-2132, in accordance with Lake Forest Municipal Code Section 9.124, Planned Development Combining District.
10. All parking spaces shall comply with the applicable sections of Lake Forest Municipal Chapter 9.168, and specifically 9.168.020, which states that if the decision-maker determines minimum parking standards are inadequate for a specific project, he may require the developer, owner or operator of any specific use to provide the adequate parking even though such addition may be in excess of the minimum requirements set forth in this section.

See Table 10-1 Development Standards: Front Loaded Small Lot
- Single-Family Detached (2,800 SF Min. Lot)



Drawing Not to Scale



Product Type Examples
(For illustrative purposes only; actual floor plans and lotting may vary)

DESIGN INTENT

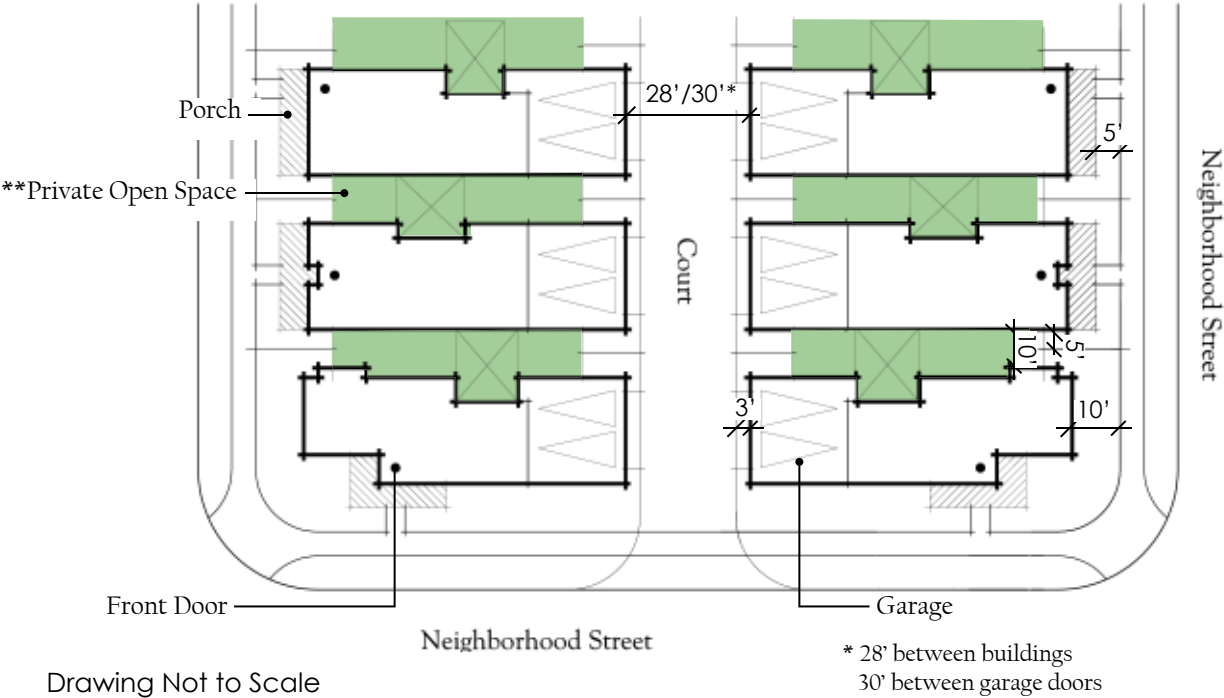
Provide corner lot elevation enhancement through side-entry or wrap porch on corner lot.

Promote neighbor interaction with front porches forward of the garage.

Provide eyes-on-the-street through living-forward floor plan design.

Create articulation in streetscene through front elevation offsets.

See Table 10-1 Development Standards: SFD Rear Loaded



* 28' between buildings
30' between garage doors

** Private Open Space is created through easment.



Product Type Examples
(For illustrative purposes only; actual floor plans and lotting may vary)

DESIGN INTENT	
Limit garage door dominance on streetscene by utilizing rear-loaded garages.	Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
Provide eyes-on-the-street through living-forward floor plan design.	Use architectural elements to articulate front elevation.
Provide corner lot elevation enhancement through side-entry on corner lot or wrap porch.	Create articulation in street scene through front elevation offsets.
Ease side yards to maximize yard useability.	

Single Family Detached Enclave Residential (SFD-E)

General

This category includes the development of single-family detached enclave and motor court/green court dwelling units. The purpose of the residential standards for detached enclave housing is to establish the minimum criteria for the development of these product types as condominium style detached enclave and motor court/green court developments within the Planning Areas specified within Serrano Summit.

Permitted Uses and Facilities

1. Single family detached enclave dwellings and garages.
2. Public or private parks, non-lighted athletic fields, community centers, senior centers, recreational buildings, greenbelts, and open space.
3. Accessory uses to include the following:
 - a. *Second Dwelling Units, in accordance the City of Lake Forest Municipal Code.*
 - b. *Home occupations per Section 9.146.060 of the Lake Forest Municipal Code.*
 - c. *Storage sheds.*
 - d. *Gazebos, cabanas and other similar structures.*
 - e. *Home schools.*
 - f. *Swimming pools, spas, and other similar outdoor recreational amenities.*
 - g. *Patios and patio covers.*
 - h. *Storage, garden structures, cabanas, and greenhouses.*
 - i. *Monument signage.*
 - j. *Model home and subdivision sales trailers; temporary construction parking, offices, and facilities; real estate signs, signage indicating future development and directional signage in accordance with the City of Lake Forest Municipal Code.*
 - k. *Second story additions to existing single story dwelling units.*
 - l. *Small family child care/day care facilities (up to 6 children), in accordance with the City of Lake Forest Municipal Code.*
 - m. *Drop boxes for overnight delivery service providers.*
 - n. *Domestic household pets in accordance with the City of Lake Forest Municipal Code.*
 - o. *Parking lots associated with permitted uses.*
 - p. *Signs associated with permitted uses and as approved per the City of Lake Forest sign permit procedures.*

Conditionally Permitted Uses and Facilities

1. Places of worship including, but not limited to, churches and synagogues.
2. Congregate care facilities.
3. Minor communications facilities.
4. Parking lots associated with conditionally permitted uses.

Temporary Uses

1. Temporary uses shall be permitted pursuant to Section 9.144.070, "Temporary Uses and Structures," of the City of Lake Forest Municipal Code.

Recreational Vehicle Storage & Parking

1. Recreational Vehicle (RV) storage is prohibited on public and private streets, private lanes, and in sideyards. RV parking is restricted to public and private streets and is limited to 24 hours.

Single Family Detached Enclave Residential Development Standards

The regulations governing development of single family detached enclave residential dwelling units within the Serrano Summit project boundaries are provided in Table 10-2, "Single Family Detached Enclave Residential Development Standards."

TABLE 10-2
SINGLE FAMILY DETACHED ENCLAVE RESIDENTIAL DEVELOPMENT STANDARDS^{1,4}

	SFD ENCLAVE	REAR LOADED DUPLEX	MOTOR COURT/ GREEN COURT
LOT CRITERIA			
MINIMUM LOT WIDTH	NO REQUIREMENT	NO REQUIREMENT	NO REQUIREMENT
MINIMUM LOT DEPTH	NO REQUIREMENT	NO REQUIREMENT	NO REQUIREMENT
MINIMUM LOT AREA	NO REQUIREMENT	NO REQUIREMENT	NO REQUIREMENT
PROPERTY LINE SETBACKS^{1,2,3}			
FRONT TO EXTERIOR PROPERTY LINE ¹¹	10'	10'	10'
SIDES & REAR TO EXTERIOR PROPERTY LINE ¹¹	5'	5'	5'
FRONT, SIDES & REAR TO INTERIOR PROPERTY LINE ¹²	5'	5'	5'
SETBACKS (FROM THE PROPERTY LINE OF LOCAL STREETS)^{2,3}			
LIVING AREA	10'	10'	10'
PORCH (SINGLE STORY PLATE LINE)	5'	5'	5'
STREET FACING GARAGE	18'	18'	18'
ALLEY FACING GARAGE	3'	3'	3'
FRONT YARD SETBACK FROM 'B' STREET (APPLIES TO 'B' STREET ONLY)	15'	15'	15'
PARK LANDSCAPE BUFFER¹³			
MEASURED FROM PROPERTY LINE	3'	3'	3'
LOT COVERAGE			
MAXIMUM COVERAGE FOR A PLANNING AREA ⁴	70%	70%	70%
MINIMUM BUILDING SEPARATION			
MINIMUM DISTANCE BETWEEN STRUCTURES W/O PASEO OR GREENWAY (WITH ZERO OPENINGS)	6'	6'	6'
MINIMUM DISTANCE BETWEEN STRUCTURES W/O PASEO OR GREENWAY (WITH MAXIMUM 25% OPENINGS)	6'-6"	6'-6"	6'-6"
MINIMUM DISTANCE BETWEEN STRUCTURES SEPARATED BY PASEO OR GREENBELT ²	10'	10'	10'
FRONT DOOR TO ADJACENT STRUCTURES	12'	12'	12'
GARAGE DOOR TO GARAGE DOOR	30'	30'	30'
BETWEEN LIVABLE AREAS ACROSS AN ALLEY (AT 2ND AND 3RD LEVELS)	28'	28'	28'
MAXIMUM BUILDING HEIGHT			
MAIN STRUCTURES ⁵	35'	35'	35'
WALLS, FENCES, AND HEDGES			
MAX. HEIGHT AT FRONT AND STREET SIDE PROPERTY LINE ⁶	42"	42"	42"
MAX. HEIGHT AT INTERIOR OR REAR PROPERTY LINE ^{7,12}	6'	6'	6'
OPEN SPACE			
PRIVATE OPEN SPACE	100 sf on the ground floor with a min. dimension of 6' OR 60 sf on upper floors with a min. dimension of 5'	100 sf on the ground floor with a min. dimension of 6' OR 60 sf on upper floors with a min. dimension of 5'	100 sf on the ground floor with a min. dimension of 6' OR 60 sf on upper floors with a min. dimension of 5'

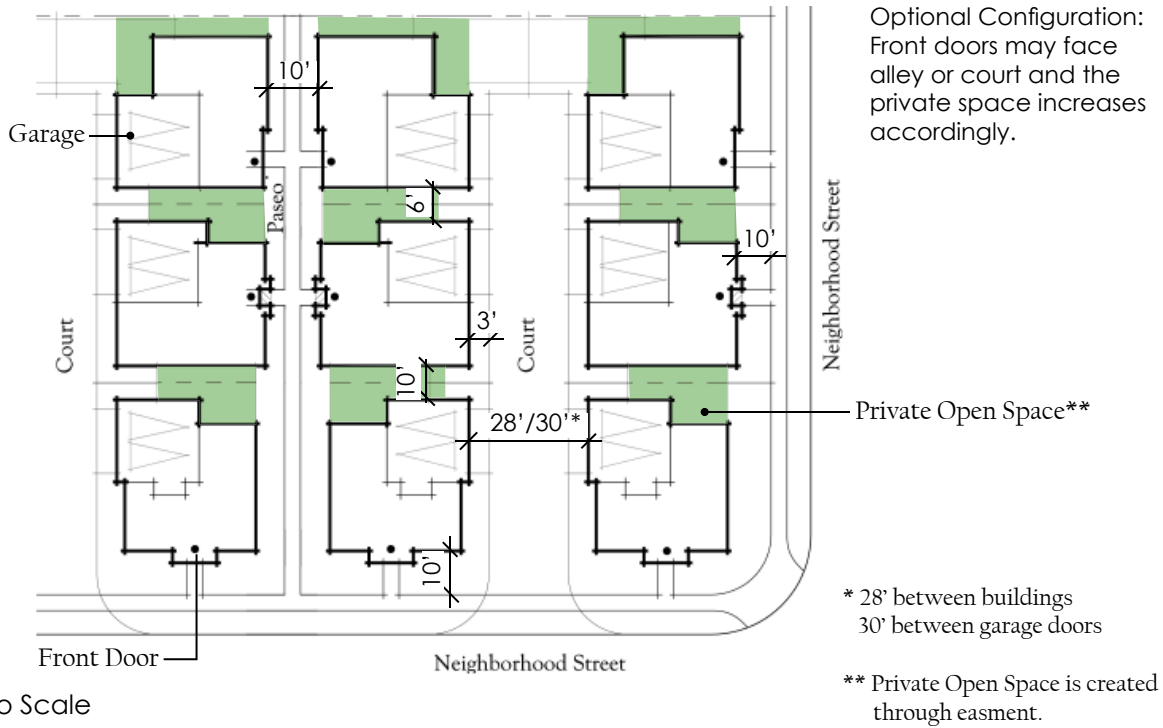
TABLE 10-2
SINGLE FAMILY DETACHED ENCLAVE RESIDENTIAL DEVELOPMENT STANDARDS

	SFD ENCLAVE	REAR LOADED DUPLEX	MOTOR COURT/ GREEN COURT
PARKING			
REQUIRED OFF-STREET PARKING ^{8,9,10,15}	<u>Per Lake Forest Municipal Code Chapter 9.168, specifically</u> 2 spaces per unit + 0.2 guest parking		

TABLE 10-2 FOOTNOTES

- Each building shall have only one front elevation and one rear elevation. All other elevations shall be deemed to be side elevations. The City shall determine which building elevation shall be designated as the "front" elevation for the purposes of this Section. In most cases, the "rear" elevation shall be deemed to be the opposite elevation from the front elevation.
- Distance is measured from the property line. Not applicable to paseo or court fronting units. Refer to minimum building separation requirements.
- Architectural projections may project a maximum of 3 feet into required setback areas; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements. Not applicable to paseo or court fronting units. Refer to minimum building separation requirements.
- Individual lots may exceed maximum lot coverage as long as the average lot coverage for the planning area does not exceed the maximum. Pursuant to Section 9.124.060 of the Municipal Code, the project net area shall not exceed forty (40) percent for residential projects.
- Architectural projections such as chimneys, cupolas, and similar features may exceed the max. height limit by 10'.
- Solid masonry walls or fencing materials may be permitted 2' from the back of the sidewalk as long as they have a max height of 42". Combination retaining walls and wall/fence combinations can exceed 42" in height. Fences, walls, hedges or similar view obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed 42" in height in any required front yard. Walls with plexiglass are restricted to areas with view opportunities.
- Walls may exceed 6 feet in height for noise attenuation purposes subject to an approved Acoustical Study, and may have a max. height of 9 feet if a combination wall/fence/hedge, stepped wall or fence, and/or retaining wall is necessary.
- All parking spaces to be enclosed with a minimum 20' x 20' clear inside dimension for two spaces, 10' x 20' for single spaces and 10' x 38' for tandem spaces. Use of tandem parking shall be evaluated on a case-by-case basis during the B Map process and/or future site development permit or use permit process, whichever comes first.
- Required guest parking can be provided on-street or within designated open parking areas.
- Unless identified as a covered space, parking spaces may be either covered or uncovered as determined by the builder. Covered spaces shall be either covered in a carport or an enclosed garage. Open spaces are parking spaces that are intended for use by project residents or their guests.
- "Exterior property line" shall be defined as the planning area boundary for each product type.
- "Interior property line" shall be defined as any subarea boundary line within an overall condo map used for phasing purposes.
- Where private property (excepting streets and alleyways) abuts a public neighborhood park in Planning Areas 15 and 16, a three foot wide landscape buffer shall be provided consisting of a low hedge, shrubs, or a low wall or fence, not to exceed three feet in height, unless a taller wall for privacy purposes is permitted by the City of Lake Forest Planning Department.
- Development Standards approved through Use Permit 9-11-2132, in accordance with Lake Forest Municipal Code Section 9.124, Planned Development Combining District.
- All parking spaces shall comply with the applicable sections of Lake Forest Municipal Chapter 9.168, and specifically 9.168.020, which states that if the decision-maker determines minimum parking standards are inadequate for a specific project, he may require the developer, owner or operator of any specific use to provide the adequate parking even though such addition may be in excess of the minimum requirements set forth in this section.

See Table 10-2 Development Standards: Rear Loaded Paseo Enclave - Single-Family Detached Enclave



Drawing Not to Scale

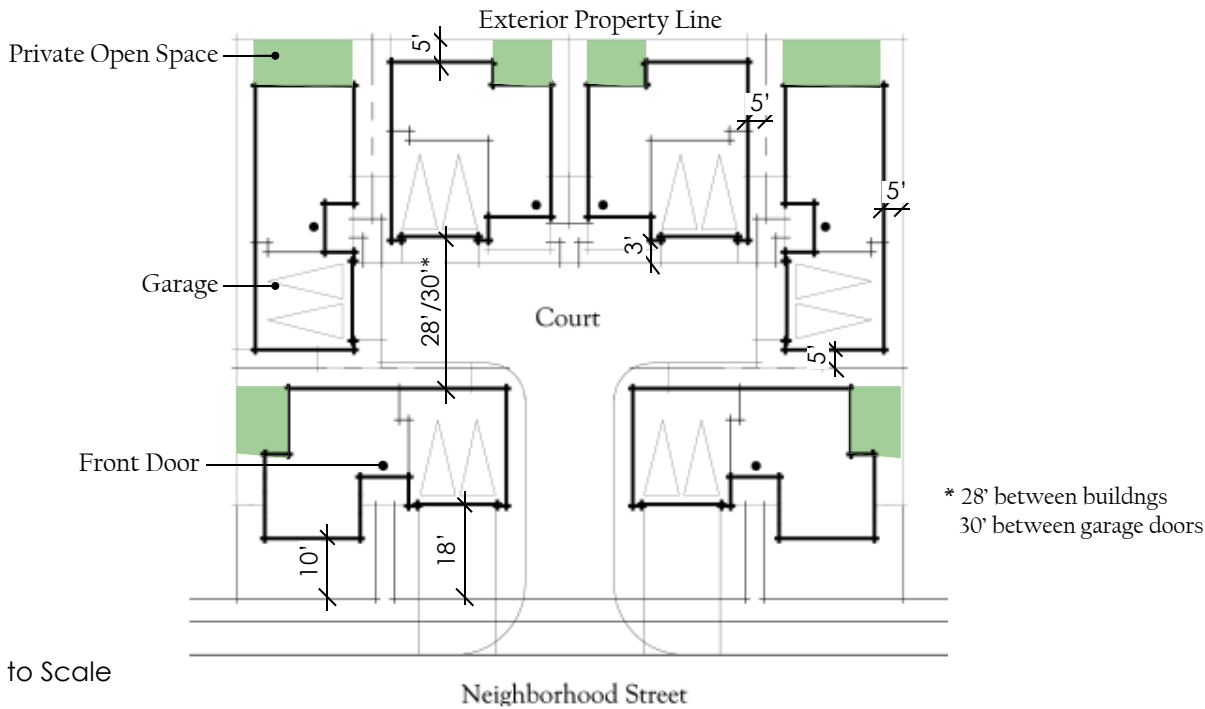


Product Type Examples

(For illustrative purposes only; actual floor plans and lotting may vary)

DESIGN INTENT	
Provide variety through floor plan design and orientation.	Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
Limit garage door dominance on streetscene by loading garages off shared court.	Provide eyes-on-the-street for homes fronting neighborhood street through living-forward floor plan design.
Promote neighbor interaction by orienting front entries around shared paseo.	Use architectural elements such as wide front elevations to articulate front elevation.

See Table 10-2 Development Standards: Motor Court



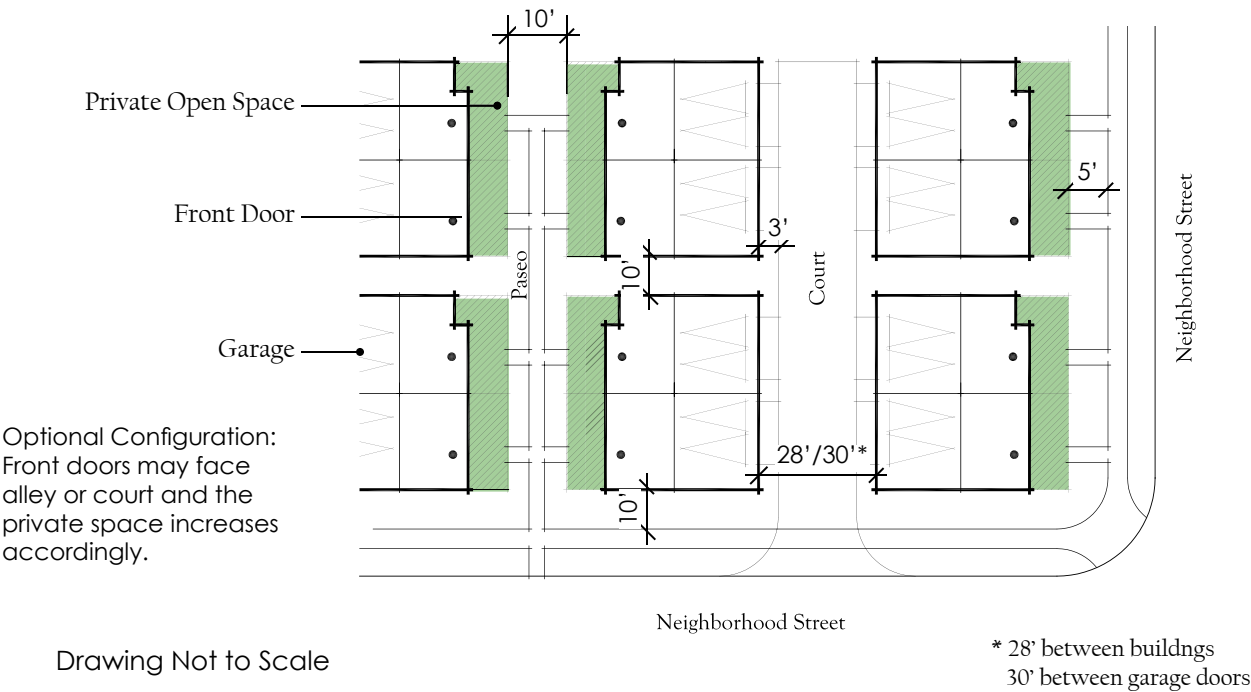
Product Type Examples

(For illustrative purposes only; actual floor plans and lotting may vary)



DESIGN INTENT	
Provide variety through floor plan design and orientation.	Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
Limit garage door dominance on streetscene by loading garages off shared court.	Provide eyes-on-the-street for homes fronting neighborhood street through living-forward floor plan design.
Promote neighbor interaction by orienting front entries around shared paseo.	Use architectural elements such as wide front elevations to articulate front elevation.

See Table 10-2 Development Standards: Rear Loaded Duplex



Product Type Examples
(For illustrative purposes only; actual floor plans and lotting may vary)

DESIGN INTENT	
Promote neighbor interaction by orienting front entries around shared paseo.	Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
Provide variety through floor plan design and orientation.	Provide eyes-on-the-street for homes fronting neighborhood street through living-forward floor plan design.
Limit garage door dominance on streetscene by loading garages off shared court.	

Single Family Attached (SFA) and Multi-Family Attached (MFA) Residential Development Standards

General

This category includes the development of a variety of attached type residential and multi-family attached dwelling units including but not limited to rear loaded duplexes, townhomes, stacked flats, and apartments. Refer to Table 10-3 for more information.

Permitted Uses

1. Single family attached row townhomes, duplexes, townhomes, stacked flats, residential apartments, and associated parking facilities.
2. Public or private parks, non-lighted athletic fields, community centers, recreational buildings, greenbelts, and open space, associated parking facilities and ancillary buildings.
3. Accessory uses to include the following:
 - a. Home occupations per Section 9.146.060 of the Lake Forest Municipal Code.
 - b. Swimming pools, spas, tennis courts, sports courts, and other similar outdoor recreational amenities.
 - c. Patios, patio covers, gazebos, barbecues, and other similar structures.
 - d. Home schools.
 - e. Monument signage
 - f. Mailboxes.
 - g. Recreation center buildings.
 - h. Maintenance storage buildings.
 - i. Signage as permitted pursuant to any approved sign program and pursuant to the City of Lake Forest sign permit processes.
 - j. Model units, sales offices, and subdivision sales trailers, temporary construction offices and facilities, real estate signs, signage indicating future development and directional signage in accordance with the City of Lake Forest Municipal Code.
 - k. Small family child care/day care, up to 6 children in accordance with the City of Lake Forest Municipal Code.
 - l. Sales Offices and Permanent Leasing Offices.
 - m. Drop boxes for overnight delivery service providers.

Conditionally Permitted Uses

1. Places of worship including but not limited to churches and synagogues.
2. Congregate care facilities.
3. Minor communications facilities.
4. Parking lots and facilities associated with conditionally permitted uses.

Temporary Uses

1. Temporary uses shall be permitted pursuant to Section 9.144.070, "Temporary Uses and Structures," of the City of Lake Forest Zoning Ordinance.

Recreational Vehicle Storage and Parking

1. Recreational Vehicle (RV) storage is prohibited on public streets, private streets, in private lanes, and in sideyards. RV parking is restricted to public and private streets and is limited to 24 hours.

Tandem Parking

1. Use of tandem parking shall be evaluated on a case-by-case basis during the B Map process.

Single Family Attached Residential Development Standards

The regulations governing development of single family attached residential dwelling units within the Serrano Summit project area are provided in Table 10-3, "Single Family Attached and Multi-Family Attached Residential Development Standards."

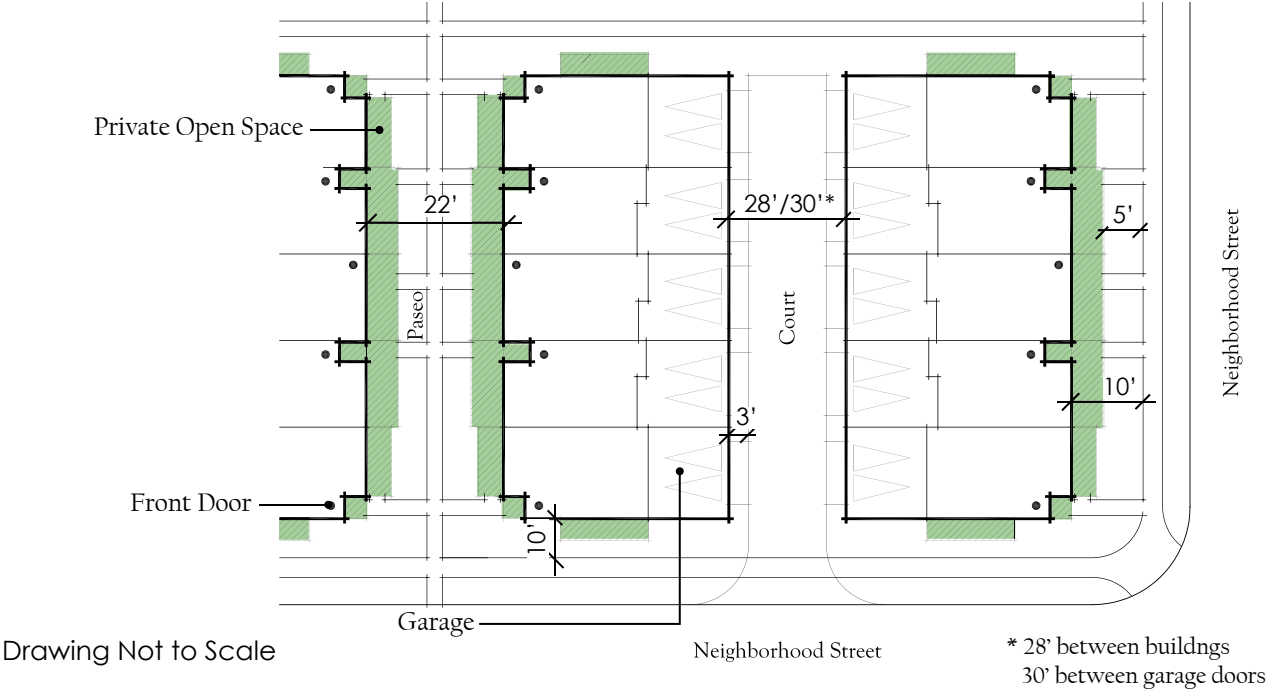
TABLE 10-3
SINGLE FAMILY ATTACHED AND MULTI-FAMILY ATTACHED RESIDENTIAL
DEVELOPMENT STANDARDS^{1,4}

	TOWNHOMES, TRIPLEXES	REAR-LOADED STACKED FLATS	FRONT-LOADED STACKED FLATS
LOT CRITERIA			
MINIMUM LOT WIDTH	NO REQUIREMENT	NO REQUIREMENT	NO REQUIREMENT
MINIMUM LOT DEPTH	NO REQUIREMENT	NO REQUIREMENT	NO REQUIREMENT
MINIMUM LOT AREA	NO REQUIREMENT	NO REQUIREMENT	NO REQUIREMENT
MINIMUM SETBACKS (FROM THE PROPERTY LINE)^{1,2,3}			
FRONT TO EXTERIOR PROPERTY LINE ¹¹	10'	10'	10'
SIDES & REAR TO EXTERIOR PROPERTY LINE ¹¹	5'	5'	5'
FRONT, SIDES & REAR TO INTERIOR PROPERTY LINE ¹²	5'	5'	5'
SETBACKS (FROM BACK OF SIDEWALK OF LOCAL STREET)^{2,3}			
LIVING AREA	10'	10'	10'
PORCH/BALCONY	5'	5'	5'
STREET-FACING GARAGE	N/A	N/A	18'
ALLEY FACING GARAGE	3'	3'	3'
FRONT YARD SETBACK FROM 'B' STREET (APPLIES TO 'B' STREET ONLY)	15'	15'	15'
PARK LANDSCAPE BUFFER^{1,3}			
MEASURED FROM PROPERTY LINE	3'	3'	3'
MINIMUM BUILDING SEPARATION¹			
BUILDING FRONT TO BUILDING FRONT	22' ²	22' ²	22' ²
BUILDING SIDE TO BUILDING SIDE	10' ³	10' ³	10' ³
BUILDING FRONT TO BUILDING SIDE	12'	12'	N/A
GARAGE DOOR TO GARAGE DOOR	30'	30'	N/A
BETWEEN LIVABLE AREAS ACROSS AN ALLEY (AT 2ND AND 3RD LEVELS)	28'	28'	N/A
LOT COVERAGE			
MAX. COVERAGE FOR A PLANNING AREA	40% per Lake Forest Municipal Code Sec. 9.124.060(B)(1)	40% per Lake Forest Municipal Code Sec. 9.124.060(B)(1)	40% per Lake Forest Municipal Code Sec. 9.124.060(B)(1)
AREA PER UNIT			
AREA PER UNIT	No Requirement	No Requirement	No Requirement
MAXIMUM BUILDING HEIGHT⁴			
MAIN STRUCTURE	40'	40'	40'
CARPORTS/DETACHED GARAGES	15'	15'	15'
WALLS AND FENCES			
MAXIMUM HEIGHT AT FRONT AND STREET SIDE OF PROPERTY LINE ⁵	42"	42"	42"
MAXIMUM HEIGHT AT INTERIOR OR REAR PROPERTY LINE ^{6,12}	6'	6'	6'
OPEN SPACE			
PRIVATE OPEN SPACE	100 sf on the ground floor w/ a min. dimension of 6' OR 60 sf on upper floors w/ a min. dimension of 5'	100 sf on the ground floor w/ a min. dimension of 6' OR 60 sf on upper floors w/ a min. dimension of 5'	100 sf on the ground floor w/ a min. dimension of 6' OR 60 sf on upper floors w/ a min. dimension of 5'

TABLE 10-3 FOOTNOTES

1. Each building shall have only one front elevation and one rear elevation. All other elevations shall be deemed to be side elevations. The City shall determine which building elevation shall be designated as the “front” elevation for the purposes of this Section. In most cases, the “rear” elevation shall be deemed to be the opposite elevation from the front elevation.
2. Architectural projections may project a maximum of 3 feet into required setback areas; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, entry gates, and other similar elements. Not applicable to paseo or court fronting units. Refer to minimum building separation requirements.
3. Balconies may project 4 feet out into courtyards and patios may project up to 8 feet into courtyards.
4. Architectural projections such as chimneys, cupolas, and other similar features may exceed the maximum permitted height by 10 feet.
5. Solid masonry walls or fencing materials may be permitted on the front property line. Fences, walls, hedges or similar view obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed 42” in height in any front yard. Combination retaining walls and wall/fence combinations can exceed 42” in height. Walls with plexiglass are restricted to areas with view opportunities.
6. Walls may exceed six feet in height for noise attenuation purposes subject to an Acoustical Study and Planning Department approval.
7. All parking spaces within an enclosed garage shall have a minimum 20’ x 20’ clear inside dimension for double spaces, 10’ x 20’ for single spaces, and 10’ x 38’ for tandem spaces.
8. Use of tandem parking shall be evaluated on a case-by-case basis during the B Map process and/or future site development permit or use permit process, whichever comes first.
9. Covered spaces shall be either covered in a carport or an enclosed garage. Open spaces are parking spaces that are intended for use by project residents or their guests.
10. Lot area for SFA building types is defined as the development area for each building module.
11. “Exterior property line” shall be defined as the planning area boundary for each product type.
12. “Interior property line” shall be defined as any subarea boundary line within an overall condo map used for phasing purposes.
13. Where private property (excepting streets and alleyways) abuts a public neighborhood park in Planning Areas 15 and 16, a three foot wide landscape buffer shall be provided consisting of a low hedge, shrubs, or a low wall or fence, not to exceed three feet in height, unless a taller wall for privacy purposes is permitted by the City of Lake Forest Planning Department.
14. Development Standards approved through Use Permit 9-11-2132, in accordance with Lake Forest Municipal Code Section 9.124, Planned Development Combining District.
15. All parking spaces shall comply with the applicable sections of Lake Forest Municipal Chapter 9.168, and specifically 9.168.020, which states that if the decision-maker determines minimum parking standards are inadequate for a specific project, he may require the developer, owner or operator of any specific use to provide the adequate parking even though such addition may be in excess of the minimum requirements set forth in this section.
16. Required guest parking may be provided on local streets or within designated open parking areas.

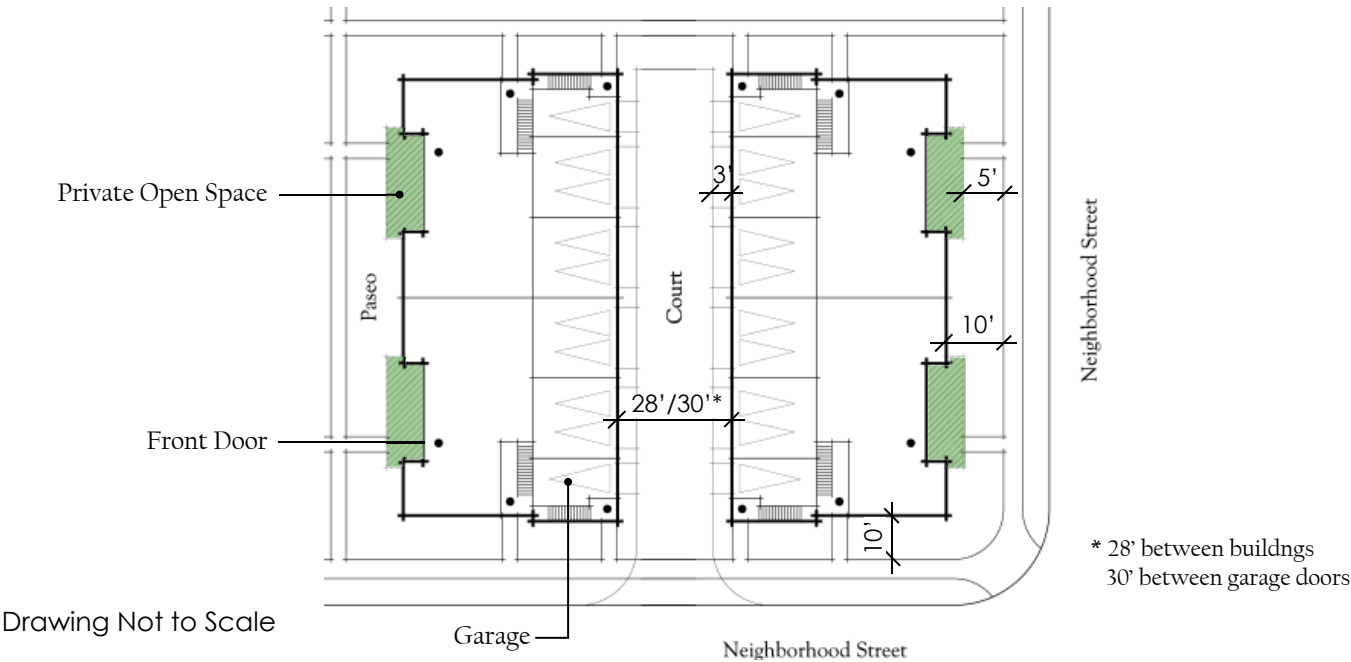
See Table 10-3 Development Standards: Rear Loaded Townhomes



Product Type Examples
(For illustrative purposes only; actual floor plans and lotting may vary)

DESIGN INTENT	
Promote neighbor interaction by orienting front entries around shared passeo.	Provide eyes-on-the-street for homes fronting neighborhood street through living-forward floor plan design.
Limit garage door dominance on streetscene by loading garages off shared court.	Use architectural elements such as wide front elevations to articulate front elevation.
Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.	

See Table 10-3 Development Standards: Rear Loaded Stacked Flats (with Carriage Units)



Product Type Examples
(For illustrative purposes only; actual floor plans and lotting may vary)

DESIGN INTENT	
Provide variety through floor plan design and orientation.	Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
Create opportunities for smaller units through carriage unit and stacked flat design.	Provide eyes-on-the-street for homes fronting neighborhood street through living-forward floor plan design.
Limit garage door dominance on streetscene by loading garages off shared court.	Use architectural elements such as wide front elevations to articulate front elevation.

AGRICULTURE (P. A. 18 & P. A. 19) AND P. A. 13 (PUBLIC FACILITIES OVERLAY)

10.7

General Provisions

This section sets forth the regulations for development of land uses within Serrano Summit.

The General Plan Designation for Planning Area 13 is Medium-Density Residential with a Public Facilities Overlay (PFO), which allows the site to be used for Civic Center purposes, including those municipal services commonly provided by general law cities at a city hall and civic center complex. Civic Center Design Guidelines are located within Section 8 of this Area Plan.

Permitted & Conditionally Permitted Uses

Permitted and Conditionally Permitted uses within the Agriculture (P.A. 18 and P.A. 19) district shall be as permitted and conditionally permitted in the City of Lake Forest's A1 Zone.

Permitted and Conditionally Permitted uses within Planning Area 13 (Public Facilities Overlay) shall be reflected to include the Residential District Standards (SFD, SFD-E, SFA, and MFA) in this Area Plan or a proposed Lake Forest Civic Center. The Lake Forest Civic Center shall be approved by the City Council through the design approval process.

Temporary Uses

Temporary uses are permitted in the Agriculture (P.A. 18 & P.A. 19) district and in Planning Area 13 (Public Facilities Overlay) subject to approval of a temporary use permit in accordance with the City of Lake Forest Municipal Code provisions for temporary uses. Temporary uses include, but are not limited to the following:

- Carnivals
- Circuses
- Holiday festivals/booths
- Seasonal Christmas tree/pumpkin lots
- Parking lot sales
- Sidewalk sales
- Street fairs and crafts shows
- Temporary structures and tents

TABLE 10-4
AGRICULTURE (P.A. 18 & P.A. 19) DEVELOPMENT STANDARDS

MINIMUM DEVELOPMENT PARCEL AREA	N/A
MAXIMUM DEVELOPMENT FLOOR AREA RATIO	1.0
MINIMUM BUILDING SETBACKS ¹	
FROM PUBLIC STREET RIGHT-OF-WAY	15'
FROM PRIVATE STREET RIGHT-OF-WAY	15'
FROM INTERIOR PROPERTY LINES	0' if adjacent to parking or industrial or commercial use; , 20' if adjacent to open space uses, 50' if adjacent to residential or institutional uses
SURFACE PARKING AREAS & DRIVE AISLE SETBACKS	
FROM PUBLIC STREET RIGHT-OF-WAY	10'
FROM PRIVATE STREETS & DRIVE AISLES TO BUILDINGS	2'
MINIMUM LANDSCAPE COVERAGE	
MINIMUM LANDSCAPE COVERAGE	10%
MAXIMUM BUILDING HEIGHT	
MAIN STRUCTURE	45'
ARCHITECTURAL PROJECTIONS AND FOCAL ELEMENTS, SUCH AS TOWERS, CUPOLAS, AND OTHER APPURTENANCES	55'
PORTE-COCHERES ²	1 story
WATER RESERVOIRS AND TANKS	45'

FOOTNOTES

1. All setback areas shall be landscaped.
2. Porte-cocheres shall be open on three sides.

**TABLE 10-5
PLANNING AREA 13 ONLY
(PUBLIC FACILITIES OVERLAY)
DEVELOPMENT STANDARDS***

MINIMUM DEVELOPMENT PARCEL AREA	5 acres
MAXIMUM DEVELOPMENT FLOOR AREA RATIO	0.35
MINIMUM BUILDING SETBACKS^{1,2}	
FROM PUBLIC STREET RIGHT-OF-WAY	20'
FROM INTERIOR PROPERTY LINES	0' if adjacent to parking, 20' if adjacent to a building, commercial, office, industrial or residential use
FROM ADJACENT OFF-SITE INDUSTRIAL USES	10'
FROM AREAS DESIGNATED AS OPEN SPACE	20'
SURFACE PARKING AREAS & DRIVE AISLE SETBACKS	
FROM PUBLIC STREET RIGHT-OF-WAY	10'
FROM PRIVATE STREETS & DRIVE AISLES TO BUILDINGS	3'
MINIMUM LANDSCAPE COVERAGE	
MINIMUM LANDSCAPE COVERAGE	15%
MAXIMUM BUILDING HEIGHT	
MAIN STRUCTURES	2 stories or 36', whichever is greater
ARCHITECTURAL PROJECTIONS AND FOCAL ELEMENTS, SUCH AS TOWERS, DOMES, CUPOLAS, AND OTHER APPURTENANCES	50'
PORTE-COCHERES ³	1 story
PARKING STRUCTURES	3 stories or 36', whichever is greater

FOOTNOTES

1. All setback areas shall be landscaped.
2. All setbacks are measured to habitable area not architectural appurtenance or projection. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies, pedestrian colonnades and other similar elements. Such elements may project a maximum of 3 feet into setback areas.
3. Porte-cocheres shall be open on three sides.

* If the Civic Center is not constructed in Planning Area 13, then the development standards shall revert to the residential development standards contained in Tables 10-1, 10-2 and 10-3.

Transmission & Wireless Communication Towers

Transmission towers and wireless communication towers are prohibited in all planning areas within Serrano Summit, with the exception of Planning Area 19. Transmission and wireless communication towers are permitted in Planning Area 19 by right, up to a height of 50 feet (as measured from ground level), subject to review and approval by the Director of Development Services. Towers exceeding 50 feet in height (as measured from ground level) shall be submit to review and approval by the Planning Commission. All towers shall be subject to the requirements set forth in Chapter 9.162, "Wireless Communication Facilities," of the City of Lake Forest Municipal Code, except as amended herein.

SIGNAGE

10.9

A Master Sign Program shall be submitted by the developer of Serrano Summit and approved by the City of Lake Forest to address residential project entries, residential neighborhood identification signs, commercial signage, public facility identification signs, wayfinding signs, and any other signs identified as necessary by the developer for the successful signage of Serrano Summit. No project signs shall be permitted in the public right-of-way. All signs shall be subject to the approval of a sign permit pursuant to the provisions of Section 9.164, "Signs," of the City of Lake Forest Municipal Code.

Master Sign Program Contents

All sign programs shall address, at a minimum, the following:

1. Permitted signs.
2. Prohibited signs.

3. The hierarchy of signage.
4. Definition of types of signs.
5. Locations and dimensions for monument signs, neighborhood identification signs, and public facilities signs.
6. Locations and dimensions of directional signage.
7. Provisions for size, location, and duration of display of temporary signs.
8. Permitted sign types, styles, illumination, construction materials, colors, and lettering styles.
9. Requirements for a sign permit application.
 - a. *Procedures for obtaining approval of a sign permit.*
 - b. *Procedures for amendments to the sign program.*

LIGHTING

10.10

Street Lights Along Public Streets

Streetlights along public streets, within Serrano Summit shall be high-pressure sodium vapor. Design of fixtures shall be approved by the City of Lake Forest as part of the City's Design Review process.

Lane Lighting Fixtures

Lane lighting fixtures shall be on sensors for automatic nighttime lighting. Style and specifications for lane lights shall be approved by the City of Lake Forest.

Lighting within Parks, Paseos, Tot Lots and Other Areas

Lighting within parks, paseos, tot lots and other public areas shall be approved by the City of Lake Forest as part of the City's Design Review of these facilities.

Lighting Within Civic Center Complex

Lighting within the Civic Center complex shall be subject to review and approval by the City.

SITE FURNISHINGS

10.11

Site furnishings, including but not limited to, benches, barbecues, picnic tables, tables, gazebos, shade structures, pedestrian plaza furnishings, and refuse receptacles shall be approved as part of the City's required development review process.

BUS TURNOUTS & SHELTERS

10.12

Bus turnouts and shelters shall be installed as required by the City of Lake Forest and the Orange County Transportation Authority (OCTA). Bus shelters, if provided, shall be compatible with the architectural character of Serrano Summit. The design of the bus shelters shall be approved by the City and OCTA.

MAILBOXES

10.13

Mailboxes shall be clustered and installed in locations approved by the City of Lake Forest in accordance with the requirements of the United States Postal Service. The locations of delivery service drop boxes, such as Federal Express or UPS, shall be coordinated with the location of the clustered mailboxes.

MODEL HOME DEVELOPMENT STANDARDS

10.14

The purpose of this section is to provide standards for the development of model home complexes within Serrano Summit. Model home complexes containing temporary real estate offices used solely for the initial sale of homes within the boundaries of an approved tract are permitted within any and all Residential Planning Area(s). Model home complexes are permitted in accordance with these regulations and the permitting requirements contained in Section 11.8, "Development Review and Approval Process," of this Area Plan.

Permitted Structures and Uses

The following structures and uses may be constructed as a part of a temporary model home complex:

1. Model homes in compliance with the Area Plan development regulations applicable to the properties that are being sold.
2. Garages, attached and detached, in compliance with the Area Plan development regulations applicable to the properties that are being sold. Garages attached to units being used as model homes or attached and directly adjacent to model homes may be used as temporary sales offices.
3. Accessory buildings and structures in compliance with the Area Plan development regulations applicable to the properties being sold.
4. Recreational facilities that will be a permanent portion of the subdivision in compliance with the Area Plan development regulations applicable to the properties that are being sold.
5. Permanent streets and driveways that will be part of the subdivision after the abandonment of the real estate office use.
6. Temporary children's playgrounds.
7. Temporary and permanent fencing, walks, and structural amenities.
8. Temporary vehicle parking, driveway cuts, and maneuvering areas to provide off-street parking as necessary for employees and guests.